



# CITY OF PACIFIC GROVE

Community Development Department - Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

## Permit & Request Application

**\$ PAID**  
2,303-

3/19/14

Permit	Fee	Multiple Permit Discount	App. #:
AP	2363		14-196
			Date: 3/10/14
			Received By: A. Hobson
			Total Fee: \$2363

**Project/Property Information**

Project Address: 723 GRANITE STREET APN: 006-557-011

Lot: 6 Block: 178 Tract: 5TH ADDITION

ZC: R1 GP: P.4 Lot Size: 5,000 SQ FT

Project: REAR ADDITION

Description: SINGLE STORY REAR ADDITION OF BEDROOM + BATHROOM

Applicant Name: SHELLE ALBRIGHT Phone #: 510 303 9608

Mailing Address: 723 GRANITE STREET

Email Address: shellbellone@att.net

Owner Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

Mailing Address: SAME

Email Address: \_\_\_\_\_

**Permit(s)/Request(s)**

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other _____
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other _____

<b>CEQA Determination</b>	<b>Review Authority</b>	<b>Does the property have?</b>	<b>Is the property within?</b>
<input type="checkbox"/> Cat. Exempt, Class.	<input type="checkbox"/> Staff <input type="checkbox"/> NRC	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> ASA: Archaeologically Sensitive Area <sup>1</sup>
<input type="checkbox"/> ND: Negative Declaration	<input type="checkbox"/> ZA <input type="checkbox"/> HRC	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> CZ: Coastal Zone <sup>2</sup>
<input type="checkbox"/> MND: Mitigated ND	<input type="checkbox"/> SPRC <input type="checkbox"/> PC	<input type="checkbox"/> Active Code Violation	<input type="checkbox"/> ASBS: Drainage into ASBS Watershed
<input type="checkbox"/> EIR: Environmental Impact Report	<input type="checkbox"/> ARB <input type="checkbox"/> CC		<input checked="" type="checkbox"/> HRI: Historic Resources Inventory <sup>3,4</sup>
			<input type="checkbox"/> BP: Butterfly Preserve Buffer

**CERTIFICATION** - I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. **If the owner is not available for signature, written/electronic and signed verification from the owner shall be required at the time of submittal agreeing to 1) the Applicant acting as their agent, 2) this Certification and 3) the Applicant acknowledgement below.**

Shellee Albright 3/5/2014 Shellee Albright 3/8/2014  
 Applicant Signature Date Owner Signature (Required) Date

PROJECT DATA SHEET

Project Address: 723 GRANITE ST.

Submittal Date: \_\_\_\_\_

Applicant(s): SHELLIE ALBRIGHT

Permit Type(s) & No(s): \_\_\_\_\_

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-1			
Building Site Area	5,000 S.F.			
Density (multi-family projects only)				
Building Coverage	40%	1,074	1,444	
Site Coverage	60%	2,111	2,594	
Gross Floor Area	2,545	1,074	1,444	
Square Footage not counted towards Gross Floor Area		PORCH, DECK, SHED, GARDEN STRUCTURE		
Impervious Surface Area Created and/or Replaced		1. REAR LANDING — 50 S.F. 2. SIDE CONCRETE PATH — 87 S.F.		
Exterior Lateral Wall Length to be demolished in feet & % of total*	—	—	8 @ 4%	TOTAL 187 L.F.
Exterior Lateral Wall Length to be built	—	—	76'	
Building Height	25	13'-6"	12'-1"	
Number of stories		1	1	SINGLE-STORY ADDITIONAL TO SINGLE STORY HOUSE
Front Setback	15'	15'	15'	
<u>SOUTH</u> Side Setback (specify side)	HISTORIC NEW	±3'	±3' ±19'	
<u>NORTH</u> Side Setback (specify side)	HISTORIC NEW	±13'	13' 7'	
Rear Setback	10'	10'	10'	GARAGE (EXIST.)
Garage Door Setback		10'	10'	
Covered Parking Spaces		2	2	
Uncovered Parking Spaces		1	1	
Parking Space Size (Interior measurement)	9' x 20'	10 x 24	10 x 24	
Number of Driveways	1	N/A	N/A	GRAVEL 10 x 16
Driveway Width(s)		N/A	N/A	GRAVEL 10 x 16
Back-up Distance		N/A	N/A	EXISTING
Eave Projection (Into Setback)	3' maximum	2.5' / 0	2.5' / 0	HISTORIC / NEW
Distances Between Eaves & Property Lines	3' minimum	6" / 0	6" / 5'-6"	HISTORIC / NEW
Open Porch/Deck Projections		5' x 5' / 5' x 10'	5' x 5' / 5' x 10'	SIDE HISTORIC / BACK NEW
Architectural Feature Projections		—	—	
Number & Category of Accessory Buildings		2	2	GARAGE (E) SHED
Accessory Building Setbacks		3.5' / 2.5'	4' / 2.5'	SHED / GARAGE
Distance between Buildings		GARAGE TO HOUSE 38'	12.5'	SHED TO GARAGE - 9.5'
Accessory Building Heights		7' / 12.5'	7' / 12.5'	SHED / GARAGE
Fence Heights		6'	6'	NO CHANGES TO FENCE

\*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

KENT L. SEAVEY

7.a

310 LIGHTHOUSE AVENUE  
PACIFIC GROVE, CALIFORNIA 93950  
(831)375-8739

February 12, 2014

Mr. Jun Sillano, A.I.A.  
International Design Group  
721 Lighthouse Ave.  
Pacific Grove, CA 93950

Dear Mr. Sillano:

**Introduction:**

This Focused Phase II Review has been prepared on behalf of Ms. Shellie Albright, as part of an application to make an addition to a listed historic resource for compatible contemporary use on the SE side-elevation of an altered historic property located at 723 Granite St. (APN# 006-557-011), in Pacific Grove (see photos, plans & drawings, and supporting documentation provided).

The function of the review is to assess the project for consistency of the proposed alterations with the Secretary of the Interior's Standards for the Treatment of Historic Properties.

The Secretary of the Interior's Standards for the Treatment of Historic Properties identify four primary treatment approaches to historic buildings. They are Restoration, Preservation, Reconstruction and Rehabilitation. Rehabilitation would be the recommended standard for treatment of 723 Granite Street.

Rehabilitation is defined as the act or process of making a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.

The Secretary's Standards encourages "placing a new addition on a non-character-defining elevation." and locating alterations to historic properties in areas where previous alterations already exist.

As stated in the 1992 National Park Service Illustrated Guidelines for Rehabilitating Historic Buildings, "The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."

### **Historical Background & Description:**

The subject property, is a 1928 vernacular residence. It falls under the City of Homes (1927-1945) classification of themes in the 2011 Pacific Grove Historic Context Statement. It was listed by the Historic Preservation Ordinance Ad Hoc Committee in 2005, without a Phase I historic review, for its architectural style. It appears in the January, 2007 Pacific Grove Historic Resource Inventory as #866 (see documentation provided).

The original owner of 723 Granite St., (Lot 6 of Block 178, 5th Addition to Pacific Grove) was Myrtle Keele Patrick, who started paying taxes on the parcel in 1924 according to Monterey County tax records. However, Monterey County Tax Assessor's records show the purchase of Mrs. Patrick as 3/23/1926, and that the residence was first assessed on 6/30/1928. In 1929, taxes on the subject property were paid by Myrtle E. Patrick c/o Ralph W. Claybaugh, a sheet metal worker employed by her husband, plumber George D. Patrick. It is possible that Mr. Claybaugh was granted the 1/6 interest in the property for building the original residence. Claybaugh was listed in residence at 723 Granite in 1928. By 1932 the property was sold for taxes. It is probable that the subject property was built for speculation, as there is no record of Myrtle E. Patrick ever residing there (see documentation provided).

The subject property is a one-story, wood-framed residence, basically rectangular in plan, resting on a concrete foundation. The exterior wall cladding is vertical board-and-batten.

The low-pitched, side-gabled roof has wide, overhanging eaves with triangular knee bracing on its NW and SE side-elevations. A small, gable-roofed laundry room projects off the east side of the SE side-elevation. A slightly raised, contemporary wooden deck with a covered pergola supported on wood posts extends SW from the laundry room along the SE side-elevation.

A modern, undated shed-roofed door-hood, sistered onto the existing rafter-tails, overhangs the brick stoop of the principal entry near the north corner of the NE facing facade. The door-hood is supported on wood posts, with a simple wood railing with balusters. The inlaid, flush wood Dutch-door is modern. The original c. 1928 doorway was located at the west corner of the NW side-elevation facing Granite St., and was in filled by the current window at an undisclosed date.

There is one interior brick chimney present, located just off the SW side of the ridge line, about midway along the main building block. The 1928 Building Classification and Composition Record (BCCR), states that there was no fireplace at that time, indicating the chimney is also a later addition. There is also a modern skylight in the NE roof plane. All roof covering is in composition shingles.

Fenestration is irregular, with a combination of paired 2/1 wood casement windows, of varying sizes, and one or two small, square single-light wood windows.

There is a 1939 detached garage at the east corner of the parcel. (PGBP# 1366). This feature may have replaced an earlier garage, shown on the 1926/1963 Sanborn map of Pacific Grove.

The residence is sited on the SE side of Granite St., set back from the street in an informal landscape setting of generally drought resistant shrubs and low ground cover. It is located in a residential neighborhood of one and two-story homes and apartment units of varying ages, sizes and styles.

Character defining features include the rectangular plan; low-pitched roof with wide, overhanging eaves and exposed rafter-tails; board-and-batten wall cladding and 2/1 paired wood casement windows.

It should be noted, that based on the period of construction, lack of physical integrity notwithstanding, this property does not appear to meet the minimum eligibility requirements established by the Pacific Grove Historic Context Statement for historic listing. It is not a clear example of residential architecture of the period (1926-1945). Its more closely related to design from the period 1910-1920. The pattern of windows and doors has been altered with the move of the original entry from the Granite St. elevation to the NE elevation, which reoriented the facade by ninety degrees. Other additive elements include the chimney, skylight and possibly the addition of the triangular knee bracing.

### **Evaluation:**

The proponent proposes to add a bedroom/bath off the SE side-elevation, by connecting the proposed new construction to an existing laundry room, which is on a secondary elevation. The new bedroom/bath will only touch this feature. An existing laundry room window will be changed to an awning type, matching the original, in kind, consistent with Standard #6.

The new work not impact the 1928 main building block, and will retain much of the laundry room in its current use (see photos and plans & drawings provided). The current footprint of the altered original 1928 residence will remain unchanged (see photos and plans & drawings provided).

The owners propose to use a vertical board-and-batten exterior wall cladding with a slightly different spacing of the battens on the addition. The roof line will be slightly lower than the main building block to help differentiate the old from the new.

The proposed windows for the new construction will reflect the original casement type, but will have a 3/1 pane to differentiate them from the earlier fenestration, and be wood, double-paned. Two small awning type windows will appear on the NE elevation. Sliding wood multi-paned French doors on the SE elevation will provide access to the rear yard and garage (see plans & drawings provided).

The proposed design and materials are consistent with the Secretary's Standards #9 & #10 for Rehabilitation, under Standard #9 that calls for any new work to be differentiated from the old, but compatible with the character of the resource to protect the integrity of the property and its environment. Standard #10 asks that new additions and adjacent or related new construction be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired (see copy of the Rehabilitation Standards provided).

### **Impacts of the Proposed Project:**

The area off the SE side of the house proposed for the bedroom/bath addition is off an undated laundry room addition on a secondary elevation. A small portion of the new construction will attach to the laundry room along its NE elevation. It will not make contact with any of the 1928 building envelope. (see photos and plans & drawings provided).

The proposed work on the subject property will be executed consistent with the Secretary's Standards for Rehabilitation, with the least possible loss of historic material so that the remaining character-defining features of the historic resource will not be obscured, damaged or destroyed. The proposed alterations and addition are reversible. As proposed the new work will not cause a significant change to the historic building and will not create a significant adverse effect on the environment.

**Mitigation:**

The proposed project is in conformance with the Secretary of the Interior's Standards for the treatment of Historic Properties under the standard for Rehabilitation (see supporting documentation attached). No mitigation is needed for this project.

Respectfully Submitted,

*Kurt S. Severy*



## 723 Granite Street-Pacific Grove



Photo #1. Looking south at the NE facing facade,  
& NW side-elevation. February, 2014.

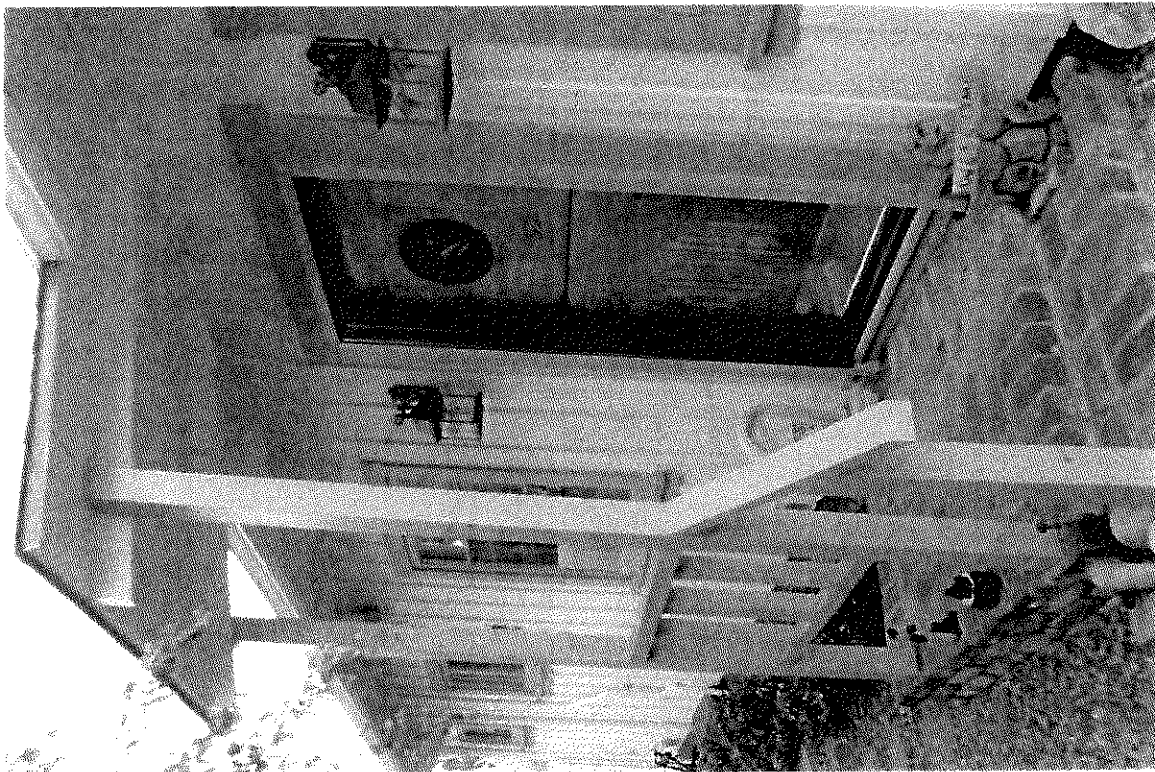


Photo #2. Looking south at the modern front (NE)  
entry. Note the contemporary Dutch-door,  
February, 2014.





Photo #3. Looking NW at the SE side-elevation.  
Note undated laundry add. at right.  
February, 2014.

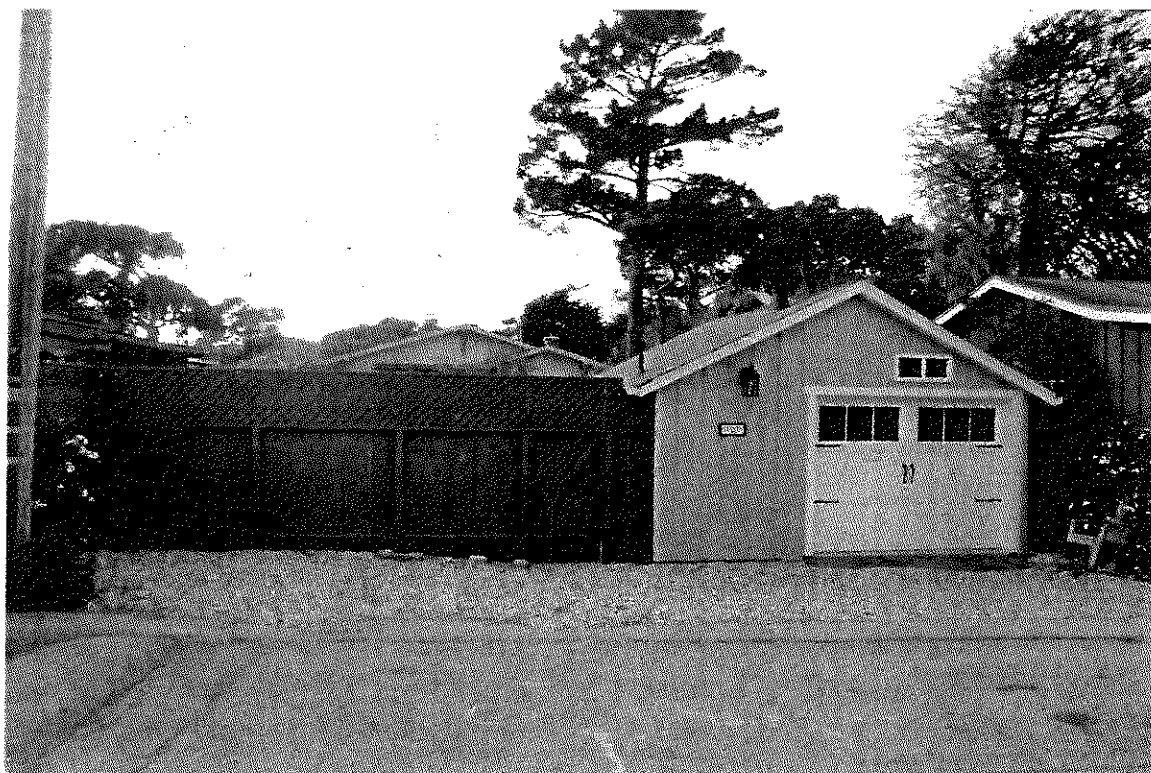


Photo #4. Looking NW at the altered 1939 Garage.  
February, 2014.



## The Heritage Society of Pacific Grove

P.O. Box 1007 • Pacific Grove • California • 93950 • (831)372-2898  
 info@pacificgroveheritage.org • www.pacificgroveheritage.org

April 24, 2012  
 Shellie Albright  
 723 Granite Street  
 Pacific Grove, California 93950  
 Dear Shellie:

This is in response to your October 16, 2011 Historical Plaque Request for your home located at 723 Granite Street. Your request was researched by the Pacific Grove Heritage Society's Research Team. A recommendation was subsequently submitted to the Heritage Society's Board of Directors and approved.

Tax and assessor records indicate that the property was first assessed in 1920, but there was not a structure on the lot until 1926. We did find a footprint of your home on the 1926 Sanborn Map. The first owner was Myrtle Keele Patrick and per the Building and Classification and Computation Records Report of 1928, the home was built in 1926. A copy of said report and a copy of the 1926 Sanborn Map with a footprint of your house are also enclosed. It should be noted that our cut-off date for plaque approvals is 1926. Although there were a number of building permits issued and changes made to your home, they appear to have been internal. It was concluded that the historical integrity of your home was retained. In regards to your request for historical information on your home we did some additional research of our records, the records at the P.G. Library and P.G. City Hall. Unfortunately, there was not any historical information of note on your home.

You will be contacted by the Heritage Society when the plaque is completed. You can pick the plaque up at the Heritage Society Barn located at 605 Laurel Ave. in Pacific Grove. Completion of the plaque can take three to six months depending on the backlog of requests.

Thank you for your interest in the Pacific Grove Heritage Society. I have included a P.G. Historical Society brochure for your review. If you are not a member, please consider joining us. The annual membership fees are on page 4 of the enclosed. Thank you.

If you have any further questions please contact our representatives at: (831) 372-2898.

Respectfully, Jim Hogan, Heritage Society Research Team.

490 on 4/17/20 Isaac and NARCISSUS. Keeler 7.a  
 purchased lots 17-20 Block 96 5th Addition  
 1926 Assessor improvements \$400

610 Granite on 5/1/21 Isaac T. Keeler  
 purchased lots 11+12 Block 179 5th Addition  
 1926 Assessor improvements \$470

714 Granite on 3/27/22 Myrtle E. Keeler Patrick  
 purchased lot 5 Block 178 5th Addition  
 1926 Assessor improvements

723 Granite on 3/23/26 Myrtle E. Patrick  
 purchased lot 6 Block 178 5th Addition  
 1926 Assessor improvements

713 Granite on 4/5/26 Isaac T. & Narcissus S. Keeler  
 purchased Lot 4 Block 178 5th Addition  
 1926 Assessor improvements

Mailing address for all of the above  
 4100 Cypress St.

BLOCK 178 LOT 4 713-715 Granite 5th Addition to P. G. Retreat

DATE OWNER Assessment on Improvement Remarks

1926 (Note: As of 1926, this lot was vacant.)

The following notice was in the December 15, 1931 Grove At High Tide newspaper:  
 "The following building permits were issued last week: M.A. Pixley, 622 Seventeenth  
 street, four-room stucco residence, \$2,000. C.J. Merbs, 509 18<sup>th</sup> street, four-room stucco  
 dwelling, \$1,000. Helen Robertson, two four-room frame dwellings at 715 and 713  
 Granite street, each costing \$1,800."

Block 178 Lot 4, 3, 6

717, 723  
713 (3)

5<sup>th</sup> addition  
Granite

926

Myrtle Keelo Patrick no house

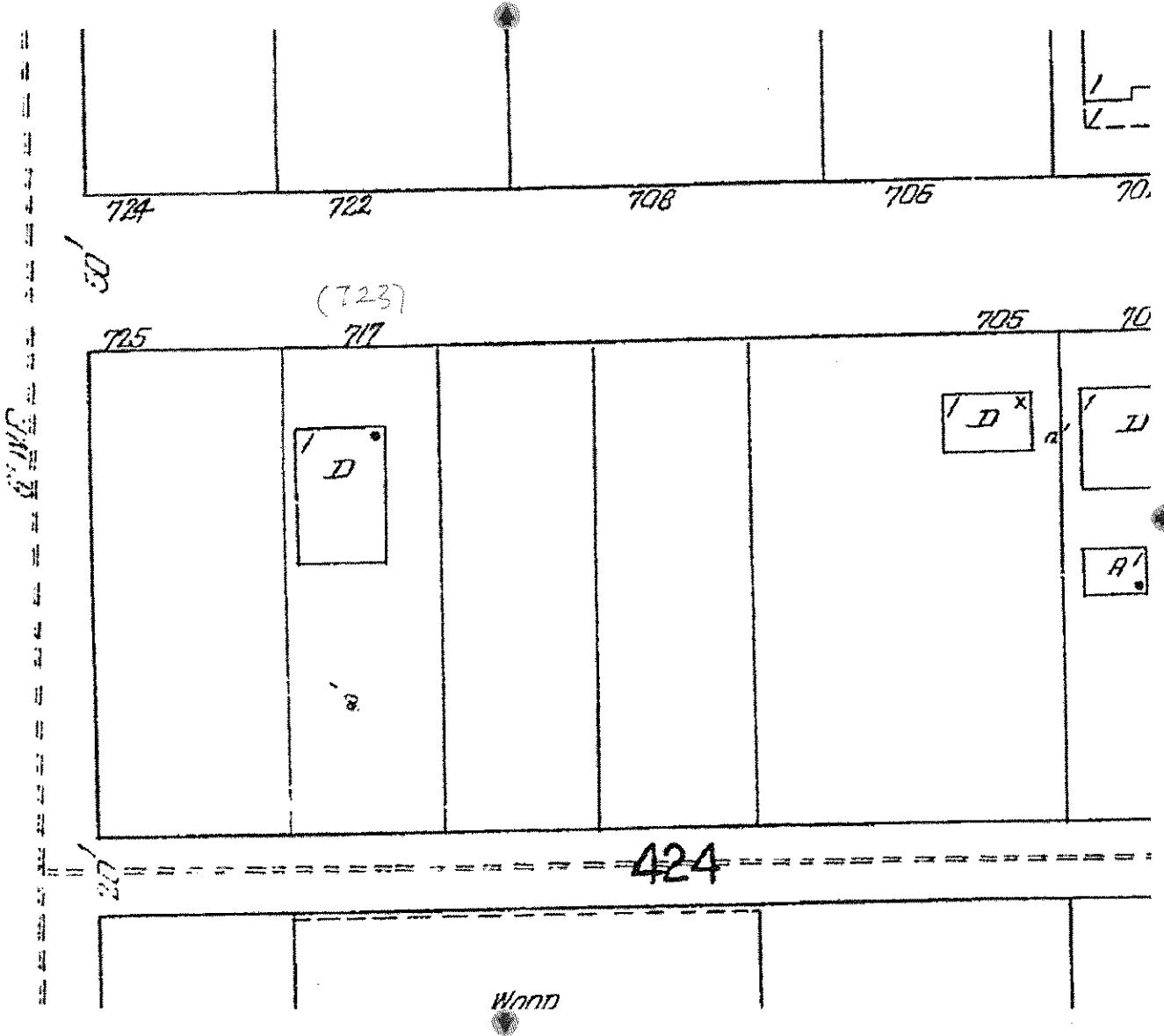
(mailing address)  
450 + Express Ave

Click on map to: zoom in re-center

Zoom: 300%

1926  
7.a  
Sanborn

Pacific Grove June 1926. Sheet 18



<http://sanborn.umi.com>



# CITY OF PACIFIC GROVE BUILDING PERMIT

In Compliance with Building Ordinance No. 246, Zoning Ordinance No. 251, and all Ordinances Supplementary Thereto.

Location 223 Granite St. Street

Lot 6 Block 178 Tract \_\_\_\_\_

Nature of Improvement double garage Zone \_\_\_\_\_

No. Rooms \_\_\_\_\_ Out buildings \_\_\_\_\_

Dimensions 16 x 18

Set Backs—Front Street in rear 5 ft. from alley line Side Street \_\_\_\_\_ Side Yds. 3 ft.

No. Stories 1 Floors none

Foundation concrete Roof shingle

Walls board & batten Chimneys \_\_\_\_\_

Outside Finish h h Toilets \_\_\_\_\_

Inside Finish h h Remarks \_\_\_\_\_

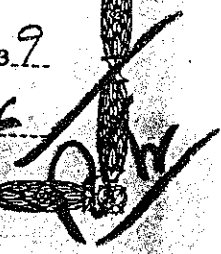
This Permit is granted upon the condition that the undersigned owner or builder agrees to comply with all Ordinances and Regulations covering the location, construction and use of buildings.  
This Permit may be revoked upon violation of any of said provisions.

Owner C.M. Newberry Builder (owner)

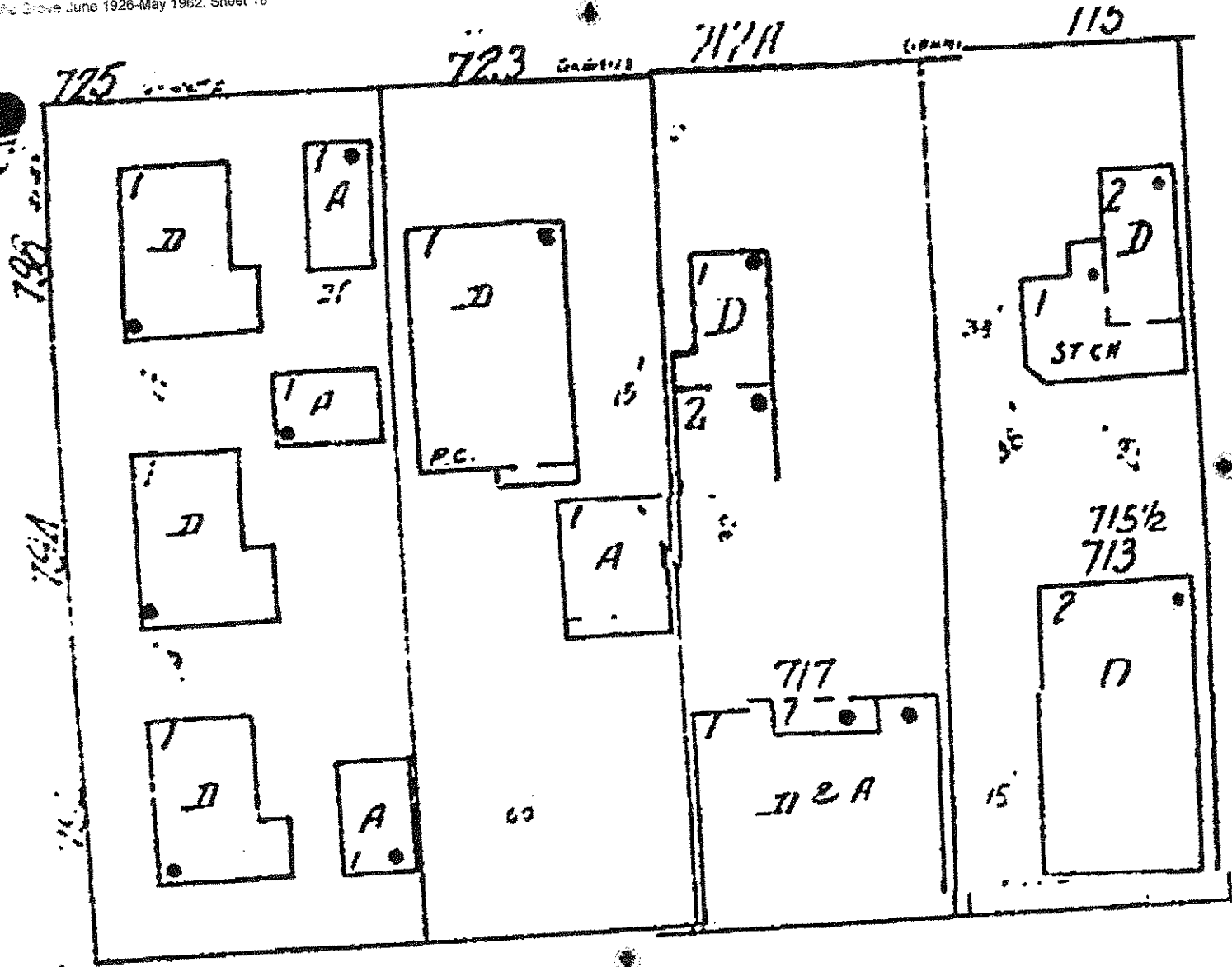
Estimated Cost \$ 100<sup>00</sup> (Patrol) Date Jan. 13, 1939

Fee of \$ 2<sup>00</sup> Paid \_\_\_\_\_ Permit No. 1366

BUILDING INSPECTOR







1962 SAN BORN

723 GRANITE STREET  
 Lot 6, Block 178-5<sup>th</sup> ADDITION  
 APN 006-557-011  
 PACIFIC GROVE, CA  
 HISTORICAL INFORMATION

The 5<sup>th</sup> addition was "created" in 1907. Three lots in block 178 the 5<sup>th</sup> addition have a strong historical relationship as they were owned by the same family for a long time.

These lots are addressed as follows:     6= 723 Granite  
   5= 717 Granite  
   4= 715 Granite

Though some have assumed that lot 6 was originally addressed as 717, because the 1926 Sanborn Map shows a structure on lot 6 with an address of 717 Granite, this was not the correct address for this lot. Lot 6 was always 723 and Lot 5 was always 717 Granite. This is confirmed by the fact that permits issued to Helen Berberick on 9/15/1926 for the construction of a house at 717 Granite show this address as lot 5 of block 178.

#### THE KEELES

The Keeles are the first owners for whom Monterey County Tax Assessor's records could be located for tax payments on lot 6 of block 178 of the 5<sup>th</sup> Addition.

Isaac T. Keele was born in Missouri, date unknown. He died on 4/10/1946. Narcissus Savage Keele was born in Missouri on 10/29/1866. She died on 2/18/1945. Their daughter, Myrtle E. Keele, was born approximately 1896 in Missouri and died on 4/14/1968.

According to the 1910 Census, Isaac and Narcissus Keele rented a home in Hemet Township in Riverside County and lived there with their daughters Myrtle and Mable and son Ernest. Mr. Keele was a contractor, working in the housing industry.

According to the 1920 Census, the Keeles owned a home in Lodi, Elkhorn Township, San Joaquin County. Myrtle still lived with them but Mable and Ernest no longer did. Mr. Keele was working in the home construction industry.

According to the 1930 Census, Myrtle Keele had already married George Patrick and was living with him and their son George who was 4 9/12 years old in East Monterey, in Monterey Township, County of Monterey. I have been unable to determine the exact date of their marriage. The age of their son suggests they married in 1924 which is, coincidentally, the first year that Myrtle Keele began paying taxes on lots 4-6 of block 178 of the 5<sup>th</sup> Addition.

According to the 5<sup>th</sup> Addition Severance Map Isaac and Narcissus Keele bought 420 Cypress Avenue in Pacific Grove APN #006462009000 on 3/27/1922. This house was built in 1914 and is a historic triplex. It appears that Myrtle lived with them at this address until she married George D. Patrick and moved to Monterey. Records of the Heritage Society indicate that Isaac and Narcissus Keele bought lots 17-20 of block 96 of the 3<sup>rd</sup> Addition on 4/17/1920. Monterey County Tax Assessor's records show that Isaac and Narcissus Keele first paid taxes on lots 17-20 of block 96 of the 3<sup>rd</sup> Addition starting in the tax year ending 6/30/1922.

According to the 5<sup>th</sup> Addition Severance Map Isaac T. and Narcissus S. Keele bought lot 4 of block 178 of the 5<sup>th</sup> Addition on 4/5/1926. This is in conflict with the Monterey County Tax Assessors records. The 5<sup>th</sup> Addition Severance Map also indicates that Myrtle E. Keele Patrick bought lot 5 on 3/27/1922 and lot 6 on 3/23/1926, which also is in conflict with the Monterey County Tax Assessors records.

According to the 5<sup>th</sup> Addition Severance Map, not only did the Keeles own 420 Cypress and lots 4-6 of block 178, they also bought 2 lots across the street 11 and 12 of block 179 of the 5<sup>th</sup> Addition on 5/4/1921. The Tax Assessor's records show them first paying taxes on these lots on 6/30/1923, and also paying them on lot 8 of block 179 of the 5<sup>th</sup> Addition on 6/30/1923.

#### CITY OF PACIFIC GROVE TAX RECORDS

I was unable to locate City of Pacific Grove's tax records, other than for 1928, which is in the BCCR files. In 1928 City of Pacific Grove taxes were paid on 3/15/1928 by Myrtle (Keely) Patrick for lots 5 and 6 block 178. Isaac and Narcissus Keele paid taxes on lot 4 of block 178 and lots 8, 11, and 12 of block 179 in the 5<sup>th</sup> Addition.

#### MONTEREY COUNTY TAX ASSESSOR'S RECORDS YEARS NOTED ARE THE YEAR ENDING ON 6/30 OF THAT YEAR

1921- No Keele (or Patrick) paid property taxes.

1922- The Monterey County tax records show that Isaac and Narcissus Keele paid taxes on lots 17-20 of block 96 of the 3<sup>rd</sup> Addition.

1923- The Monterey County tax records show Isaac Keele paid taxes on lots 8, and 17-20 of block 96 of the 3<sup>rd</sup> Addition.

The Monterey County tax records show that taxes on lots 4-6 of block 178 in the 5<sup>th</sup> Addition were paid by Isaac and Narcissus Keele of 420 Cypress.

The Monterey County tax records show that taxes on lot 7 of block 181 in the 5<sup>th</sup> Addition were paid by Isaac and Myrtle Keele of 420 Cypress.

1924-

1927 Starting in the tax year ending 6/30/1924, Isaac and Myrtle no longer owned lot 7 of block 181 in the 5<sup>th</sup> Addition.

Taxes began being paid by Myrtle E. Keele of 420 Cypress on lots 4-6 of block 178. There were no structures on any of these lots.

I am only showing information for lots 4-6 of block 178 from here on.

1928- Isaac and Narcissus Keele of 420 Cypress pay taxes on lot 4. Myrtle Keele of 420 Cypress pays taxes on lot 5. Myrtle K. Patrick of 721 Granite pays taxes on lot 6. This is the first year we see Myrtle paying taxes with the name of Patrick, and also the first year that structures are first shown on both lots 5 and 6. There is still no structure on lot 4. That is not built until several years later.

1929- Isaac and Narcissus Keele of 420 Cypress pay taxes on lot 4.

Myrtle Keele of 420 Cypress pays taxes on lot 5.

Lot 6 was paid by Myrtle E. Patrick c/o Ralph Claybaugh 723 Granite. Exemption allowed 1/6 equity on affidavit of Ralph W. Claybaugh. It is my speculation that Mr. Claybaugh (who was employed by Patrick Brothers Plumbing) was granted the 1/6 interest in exchange for building the house.

1930- Isaac and Narcissus Keele of 420 Cypress pay taxes on lot 4.

Rose Robertson pays taxes on lot 5.

Taxes on lot 6 were paid by Myrtle E. Patrick/Ralph Claybaugh.

1931- Isaac and Narcissus Keele of 420 Cypress pay taxes on lot 4.

Rose Robertson pays taxes on lot 5.

Myrtle E. Patrick/Ralph Claybaugh pay taxes on lot 6.

230 Lighthouse Avenue, the Patrick Brother's business address was sold for taxes on 6/27/1931.

1932- Taxes on lot 6 of block 178 in the 5<sup>th</sup> addition were not paid by Victor H. Patrick, George D. Patrick, Myrtle Patrick, R. Claybaugh and the lot shows as sold for taxes on 6/28/1932 and 8/26/1933.

1933- Lot 4 was sold for taxes on 8/26/1933. It was owned by Isaac and Narcissus Keele at the time.

#### MONTEREY COUNTY TAX ASSESSOR ASSESSED VALUES

The assessed value of lots 4-6 for the tax year ending 6/30/1923 was \$300 with no structures shown.

The assessed value of lots 4-6 for the tax year ending 6/30/1924 was \$300 with no structures shown.

The assessed value of lots 4-6 for the tax year ending 6/30/1925 was \$300 with no structures shown.

The assessed value of lots 4-6 for the tax year ending 6/30/1926 was \$300 with no structures shown.

The assessed value of lots 4-6 for the tax year ending 6/30/1927 was \$300 with no structures shown.

The assessed value of lot 4 for the tax years ending 6/30/1928- 6/30/1931 was \$140 with no structures shown.

The assessed value of lot 5 for the tax years ending 6/30/1928- 6/30/1931 was \$140 with structures shown of \$300.

The assessed value of lot 6 for the tax years ending 6/30/1928- 6/30/1931 was \$140 with structures shown of \$500 for each year.

The assessed value of lot 6 was the same?, (my photocopy is not clear) for the tax year ending 6/30/1932.

#### 5<sup>th</sup> ADDITION SEVERANCE MAP

The Monterey County tax records conflict with the information in the Severance Map, which shows that Isaac and Narcissus Keele bought lot 4 of block 178 in the 5<sup>th</sup> Addition on 4/5/1926; Myrtle E. Keele Patrick bought lot 5 of block 178 in the 5<sup>th</sup> Addition on 3/27/1922; and Myrtle E. Patrick bought lot 6 of block 178 in the 5<sup>th</sup> Addition on 3/23/1926.

#### SANBORN MAPS

The question is when the structure was built on the lot at 723 Granite. There is conflicting information. The historical assessment from the City of Pacific Grove concludes that it was built prior to 1926 because the 1926 Sanborn Map shows a structure on lot 6; however it has an address of 717 Granite Street. No structure is shown on lot 5 (which is actually 717 Granite). The Monterey County Tax Assessor's records do not show taxes being paid for a structure on these lots until the tax year ending 6/30/1928.

#### CITY OF PACIFIC GROVE PERMIT HISTORY

715 Granite- There are now two houses on this lot. The City of Pacific Grove shows a permit for 715 Granite on 9/30/1934, for the construction of a single family 1.5 story home at the rear of the lot, which was a renewal of permit #668, which was not found in file. The owner was Helen Robertson. An addition was done in 1956.

717 Granite-There are now two houses on this lot.

- The City of Pacific Grove shows a permit for 717 Granite on 9/15/1926 for the construction of a single family dwelling with attached garage. 1 story, 3 rooms Permit #2174. Petitioner- Helen Berberick.
- The City of Pacific Grove shows a permit for 717 Granite on 6/2/1931 for the construction of a two story single family residence with attached garage Permit #578. Owner- Helen Robinson (was the permit a typo, should this be Rose Robertson who paid taxes on lot 5 in 1931?). In 1985 there was an addition to this structure.
- One of these structures has been designated as historic, and I believe that it is the back house.
  - It appears that even though this house was built in 1926 it doesn't show on the Sanborn map due to the fact that the map was prepared in June of 1926, before it was constructed.

723 Granite- The City of Pacific Grove shows no permits for 723 Granite until 1/13/1939 when L.M. Newberry was issued permit #1366 to add a 16 x 18 two car garage. Later permits were issued to the current owner, Shellie Albright, for the replacement of unpermitted bathroom fixtures in the garage, and repair issues, including the removal of historic oak trees that had become a safety hazard due to rotting of their trunks, the construction of a sidewalk, drainage improvements, earthquake bolting, installation of a plastic liner below the house, etc.

725 Granite- Lot 7 of block 178. A permit was found dated 1/9/1928 for the construction of a single family home. The petitioner was Mrs. Ben F. Fuller. Three identical houses were built on this parcel, which was subdivided into three lots (725 Granite, 792 Sinex, and 794 Sinex). All were built in 1928 per the City's BCCR reports and were taxed by the City in 1928. All were owned by F.S. Safford in 1928 and were shown on the City's tax report as one land value and three property values.

## POLK DIRECTORIES

I cannot find any evidence of anyone living at 723 Granite until 1928. The 1926 Polk Directory does not show a house at 715, 717 or 723 Granite (lots 4-6).

I find no evidence that Myrtle Keele Patrick ever actually resided at 723 Granite. It appears that she resided with her family on Cypress until she moved to Monterey when she married George Patrick. The 1926 Polk Directory shows that Myrtle Patrick lived on Lighthouse in Monterey and was married to George D. Patrick of Patrick Brothers, Plumbers.

I have been unable to locate a 1927 Polk Directory and it appears that none exists.

The 1928 Polk Directory shows that R.W. Claybaugh was residing at 723 Granite Street in Pacific Grove and was a sheet metal worker employed by Patrick Brothers Plumbing. His wife and son resided with him. In the property tax year ending 6/30/1929, Mr. Claybaugh was granted an interest in the property at 723 Granite Street (per the Monterey County Tax Records). I hypothesize that this is because he assisted in building the house, and that it was built in 1928, not 1926 as previously believed.

1930- The 1930 Polk Directory shows houses on 723 and 717 Granite. Myrtle Patrick was living in Monterey at this time. L.E. Lelly- unknown relationship resided at 723 Granite.

1931- L.E. Lelly- unknown relationship resided at 723 Granite

1932- 723 Granite was sold for back taxes on 6/28/1932.

1932 onward- Various residents, none of any known historical importance.

#### CITY OF PACIFIC GROVE PHASE ONE HISTORICAL ASSESSMENT

6/4/2003 The City of Pacific Grove added 723 Granite Street to the Historic Inventory. The criteria for inclusion were:

Criterion 23.76.025(i) is applicable as the building retains the integrity of its original design based on the following evidence:

- a) According to available records, the building was probably constructed prior to 1926
- b) review of 1928 BCCR and 1926 and 1962 Sanborn Fire Insurance Records indicates that the rear of the structure has been altered however the footprint of the early building remains discernable
- c) no building permits are on file for the dwelling or subsequent alterations
- d) character defining features described in the BCCR that remain include board and batten siding and a gable roof

#### HISTORICAL ELIGIBILITY REQUIREMENTS

##### SIGNIFICANCE

When the City placed the house on the historic register, it made a finding that there was no known historical significance for 723 Granite.

##### INTEGRITY

The fact that the garage, which was not built 1939, showed on the 1928 BCCR document is what first made me question the accuracy of the BCCR, which was one of the documents relied on by the City to place the map on the historic inventory. The BCCR shows a total of 4 rooms, states the house has no heat source, and shows that



the house does not have a fireplace. The house currently has 6 rooms, counting the laundry room and does have a fireplace, which appears to be original.

Per the architectural styles noted in the Historic Context Statement for Pacific Grove, 723 Granite is not a clear example of any style of residential architecture either from the 1903-1926 period nor from the 1927-1945 period. Assuming that the structure shown on lot 6 on the 1926 Sanborn Map is in fact the original structure, the criteria for inclusion on the historic register are more strictly applied.

The 1926 Sanborn Map shows that the front door of the house was located at the front right side of the house (when facing the house from the street). The front door has been moved to the side of the house and a porch has been added. It is clear that the current front door is not the original door because the molding does not match any of the other doorway moldings in the house. Additionally, the fact that a side porch was added is clearly visible by the sistering in of new rafters on the side of the house. There is a large skylight in the front room, which is not original. A laundry room was added. There is an unexplained old doorway in the kitchen, which appears to have originally been an exterior exit. Further, the 1928 BCCR shows that the house had no fireplace, which it does.

The house requires three crawl boxes due to various old walls under the house. The laundry room does not have a separate foundation; it appears to be completely consistent with the rest of the house's foundation.

It is clear that the changes to the original structure (as compared to the 1926 Sanborn structure) were there at the time the house was placed on the historic register, as they show in the photo. The owner of the house at the time it was placed on the historic register objected to its placement on the register as she believed that the house did not retain its original footprint.

The BCCR shows the age of the house as 2 years in 1928. From what I can tell by reviewing several BCCR documents, it appears that the 1926 Sanborn map was used to date the houses. On the 1928 Building Classification and Composition Inventory (BCCR) it appears that the lot number was "whited out" at some point and changed to lot 6.

## PRESS INFORMATION

PG Tribune 2/23/1945 page 3

Mrs. Narcissus Keele was born 10/29/1866 at Williamsburg Missouri and died 2/20/1945. Mr. and Mrs. Keele came to Pacific Grove 25 years ago from the San Joaquin Valley and until they bought their present home a few years ago had lived on Cypress. Surviving are her husband Isaac Keele, son Hamer T. Keele of Garden Grove, daughters Mrs. Mabel S. Smith of Los Angeles and Mrs. Myrtle E. Patrick of Monterey, her brother James C. Owen of Fulton Missouri and several grandsons. Burial will be in the family plot in Hemet in Riverside County.

PG Tribune 4/12/1946

Isaac Keele was a native of Missouri and moved to Pacific Grove from Lodi. He died 4/10/1946 at age 78, and was buried in the family plot in Hemet. He was a carpenter and cabinet maker, first employed by the Del Monte hotel, who lived in Pacific Grove for 27 years. He was buried in Hemet, in the family plot. Since his retirement, he had taken much interest in the Townsend Plan.



## CITY OF PACIFIC GROVE

### Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

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#### AP PERMIT 14-196:

### FOR A PROPERTY LOCATED AT 723 GRANITE AVENUE ON THE HISTORIC RESOURCES INVENTORY TO CREATE AND CONSTRUCT AN APPROXIMATELY 370 SQUARE FOOT ADDITION TO AN EXISTING 1,074 SQUARE FOOT SINGLE FAMILY RESIDENCE FOR A TOTAL OF 1,444 SQUARE FEET

#### FACTS

1. The subject site is located at 723 Granite Ave., Pacific Grove, 93950 APN 006-557-011
2. The subject site has a designation of Medium Density Residential 17.4 dwelling units/acre on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. The subject lot site is approximately 5,000 square feet.
5. The subject site is developed with a single-family residence
6. The project site is located within the ASBS watershed zone.
7. The project site is located on the Pacific Grove historic resources inventory.
8. The subject site has legal non-conforming setbacks and encroaches into the side yard setbacks by approximately 1 foot and the garage encroaches into the North side setback by approximately 1 foot.
9. The subject site has legal non-conforming parking in that the driveway length does not adhere to requirements in the R-1 zone.
10. The subject property is on the Historic Resources Inventory.
11. A Phase 2 Historic Report was completed by Kent L. Seavey on February 12, 2014.
12. The project will not cause a substantial adverse change in the significance of a Historic Resource. This project has been determined to be Exempt under CEQA Guidelines 15331.

#### FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district, with the exception of existing legal non-conforming setbacks and driveway requirements.
2. The proposed development will not expand or create any new non-conformities. (Pacific Grove Municipal Code S23.68.050(d)(1))
3. The proposed project is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties in that historic resources will not be obscured, damaged or destroyed. The proposed alterations and additions are reversible.
4. The architecture and general appearance of the completed project are compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 1, 27, 28, 32, & 33.
5. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and
6. The Board has been guided by and has made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

#### PERMIT

Architectural Permit to allow:

1. A property located at 723 Granite Avenue on the Historic Resources Inventory to create and construct an approximately 370 square foot addition to an existing 1,074 square foot single family residence for a total of 1,444 square feet.

#### CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Historic.** Any historic elements removed from the historic dwelling, including but not limited to windows, and doors, must either be reused on-site or stored for future use, to the greatest extent practicable.
5. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
6. **Conformance to Plans.** Development of the site shall conform to approved plans entitled "Shellie Albright Residence" dated received March 5, 2014 on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
7. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.

#### NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes APPROVAL of a 370 square foot addition to a single family residence, AP 14-196.
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 8<sup>th</sup> Day of April, 2014, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

\_\_\_\_\_  
Jim McCord, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

\_\_\_\_\_  
Shellie Albright, Owner

\_\_\_\_\_  
Date

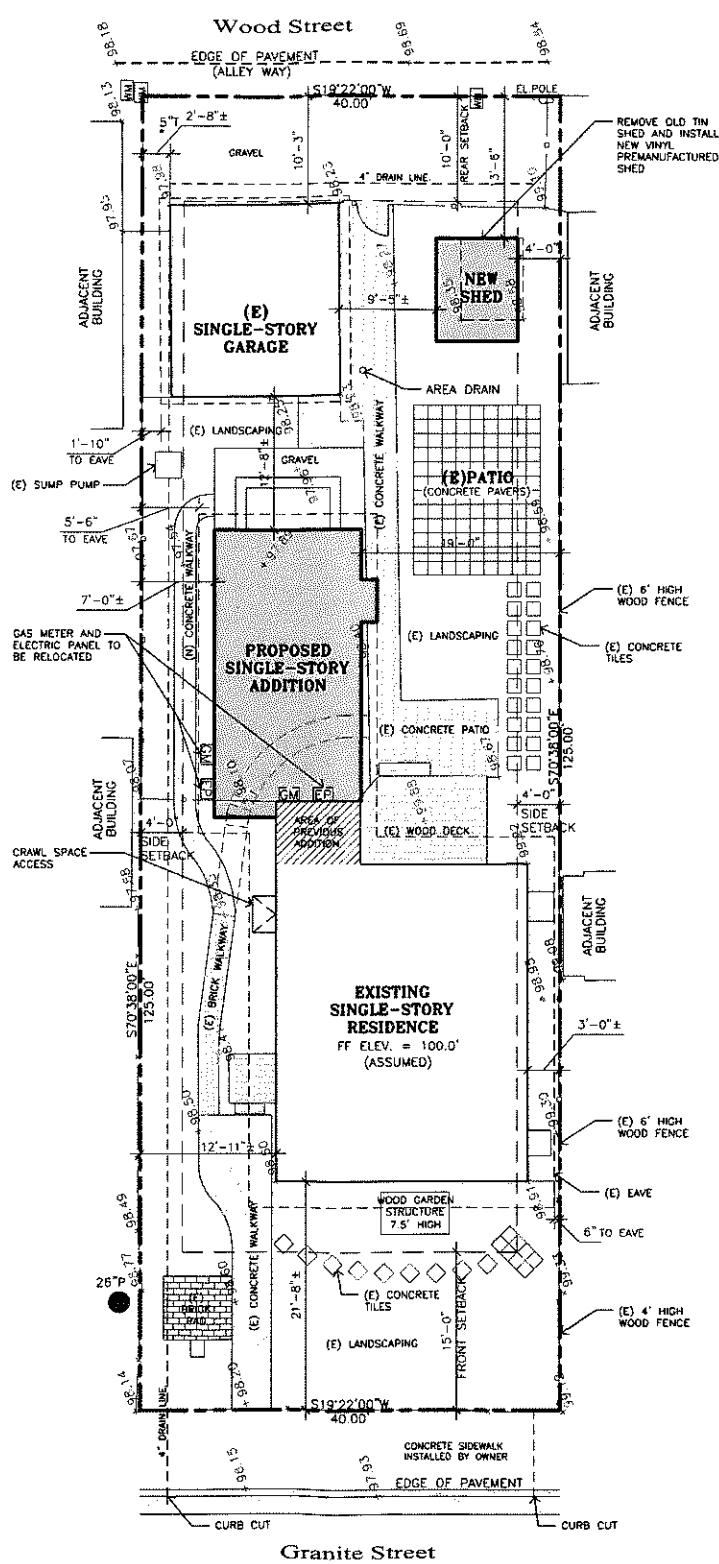
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PROJECT DATA SHEET

Project Address: 723 GRANITE ST. Submittal Date: SHELLIE ALBRIGHT Permit Type(s) & Note(s):

Zone District	REQUIRED Permitted	Existing Condition	Proposed Conditions	Notes
Zone District	R-1			
Building Site Area	5,000 S.F.			
Density (multi-family projects only)				
Building Coverage	40%	1,074	1,444	
Site Coverage	60%	2,111	2,594	
Green Floor Area	2,545	1,074	1,444	
Square Footage not counted towards Green Floor Area				PORCH, DECK, SHED, GARDEN STRUCTURE
Impervious Surface Area Created and/or Replaced				1. REAR LANDING - 50 S.F. 2. SIDE CONCRETE PATIO - 97 S.F.
Exterior Lateral Wall Length to be demolished in feet & % of total				8'-4" TOTAL 187 L.F.
Exterior Lateral Wall Length to be built				7'-6"
Building Height	25'	13'-6"	12'-1"	
Number of stories	1	1	1	2 1/2 STORY HOUSE
Front Setback	15'	15'	15'	
SOUTH Side Setback (per city side)	HISTORIC NEW	3'-3"	3'-3"	
NORTH Side Setback (per city side)	HISTORIC NEW	3'-3"	3'-3"	
Rear Setback	10'	10'	10'	GARAGE (EXIST.)
Garage Door Setback		10'	10'	
Covered Parking Spaces		2	2	
Uncovered Parking Spaces		1	1	
Parking Space Size (interior measurement)	8' x 20'	10' x 24'	10' x 24'	
Number of Driveways	1	N/A	N/A	GRAVEL 10' x 16'
Driveway Width(s)		N/A	N/A	GRAVEL 10' x 16'
Break-on Distance		N/A	N/A	EXISTING
Eave Projection (into Setback)	3' maximum	2'-5"	2'-5"	HISTORIC/NEW
Distances Between Eaves & Property Lines	3' minimum	6'-8"	6'-5"	HISTORIC/NEW
Open Porch/Deck Projections		5'-5"	5'-5"	SIDE HISTORIC/NEW
Architectural Feature Projections				BACK NEW
Number & Category of Accessory Buildings		2	2	GARAGE (E) SHED
Accessory Building Setbacks		3'-2"	4'-2"	SHED/GARAGE
Distances between Buildings		7'-3"	12'-5"	SHED TO GARAGE - 5'-5"
Accessory Building Heights		7'-12.5"	7'-12.5"	SHED/GARAGE
Fence Heights		6'	6'	NO CHANGE TO FENCE

*Note: Project proposes conversion to an IRM structure also indicate % of proposed demolition of the outside of all exterior walls facing public street unless otherwise specified.*



SITE PLAN  
1/8" = 1'-0"

PLANNING INFO.

- PROPERTY OWNER: SHELLIE ALBRIGHT  
723 GRANITE STREET  
PACIFIC GROVE, CA. 93950  
PH. (510) 303-9608
- PROJECT ADDRESS:  
723 GRANITE STREET  
PACIFIC GROVE, CA. 93950
- PROJECT SCOPE:  
A NEW ADDITION OF 370 SQ. FT. TO AN EXISTING SFD.
- OCCUPANCY: R-3, U
- CONST. TYPE: V-B
- A.P.N. 006-557-011
- LEGAL DESC.: LOT: BLOCK:
- ZONE: R-1
- STORIES: 1
- MAX BLDG. HT: 25 FT
- GRADING: 0 CY
- TREE REMOVAL: 0
- TOPOGRAPHY: FLAT
- PROJECT CODE COMPLIANCE:  
2013 CBC, CMC, CPC, CFC, CEC, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN BUILDING CODE, & CALIFORNIA ENERGY CODE
- ENERGY METHOD: MICROPAS V8.1, ENERGY PRO 5.0
- LOT AREA: 5,000 S.F. (0.11 Ac.)
- F.A.R. CALCULATIONS

	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
HOUSE	779	370	0	1,149
GARAGE	295	0	0	295
TOTAL	1,074	370	0	1,444

- F.A.R. ALLOWED: 2,545 SF
- F.A.R. PROPOSED: 1,444 SF

BUILDING COVERAGE:

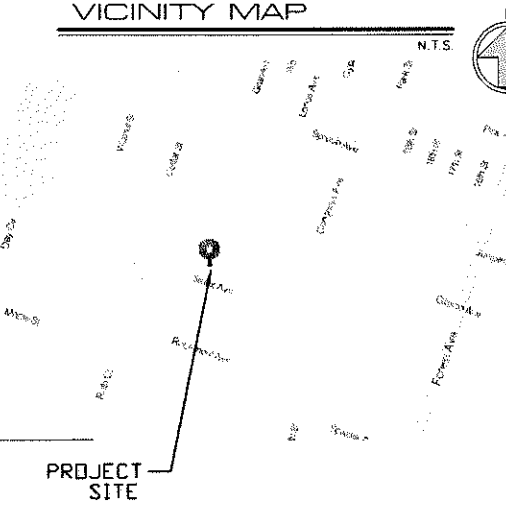
	EXISTING	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
HOUSE	779	370	0	1,149
GARAGE	295	0	0	295
TOTAL	1,074	370	0	1,444

- BUILDING COVERAGE ALLOWED: 2,000 SF (40%)
- BUILDING COVERAGE PROPOSED: 1,444 SF (29%)

SITE COVERAGE CALCULATIONS:

	(EXISTING)	PROPOSED ADDITION	PROPOSED REMOVAL	PROPOSED TOTAL
BUILDING COVERAGE	1,074	370	0	1,444
GARDEN STRUCTURE	26	0	0	26
FRONT PORCH	31	0	0	31
FRONT STEP TILE	30	0	0	30
BRICK PAD	40	0	0	40
FRONT CONCRETE WALKWAY	132	0	0	132
FRONT BRICK WALKWAY	94	0	-55	39
(N)SIDE CONCRETE WALKWAY	0	87	0	87
REAR DECK	98	0	0	98
REAR CONCRETE WALKWAY	284	0	0	284
REAR LANDINGS	26	50	0	76
REAR CONCRETE PATIO	230	0	0	230
SHED	46	77	-46	77
TOTAL	2,111	584	-101	2,594

- LOT COVERAGE ALLOWED: 3,000 SF (60%)
- LOT COVERAGE PROPOSED: 2,594 SF (52%)



7.a  
JUN A. SILLANO, AIA  
IDG  
ARCHITECTURE & PLANNING & INTERIOR DESIGN  
JOHN E. MATTHAMS  
721 LIGHTHOUSE AVE  
PACIFIC GROVE CA  
93950  
PH (831) 646-1261  
FAX (831) 640-1260  
EMAIL jematthams@idg.com  
WEB www.idg.com

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STAMPS:  
PROJECT/CLIENT:  
SHELLIE ALBRIGHT RESIDENCE  
PROJECT ADDRESS:  
723 GRANITE ST. PACIFIC GROVE, CA, 93950  
APN: 006-557-011

DATE: MARCH 5, 2014  
DESIGN APPROVAL  
REVISIONS:  
SITE PLAN  
SHEET NO.  
A1.0



JOHN E. MATTHAMS

721 LIGHTHOUSE AVE  
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93950

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STAMPS:

PROJECT/CLIENT:

SHELLIE  
ALBRIGHT  
RESIDENCE

PROJECT ADDRESS:

723 GRANITE ST.  
PACIFIC GROVE,  
CA, 93950

APN: 006-557-011

DATE: MARCH 5, 2014  
DESIGN APPROVAL

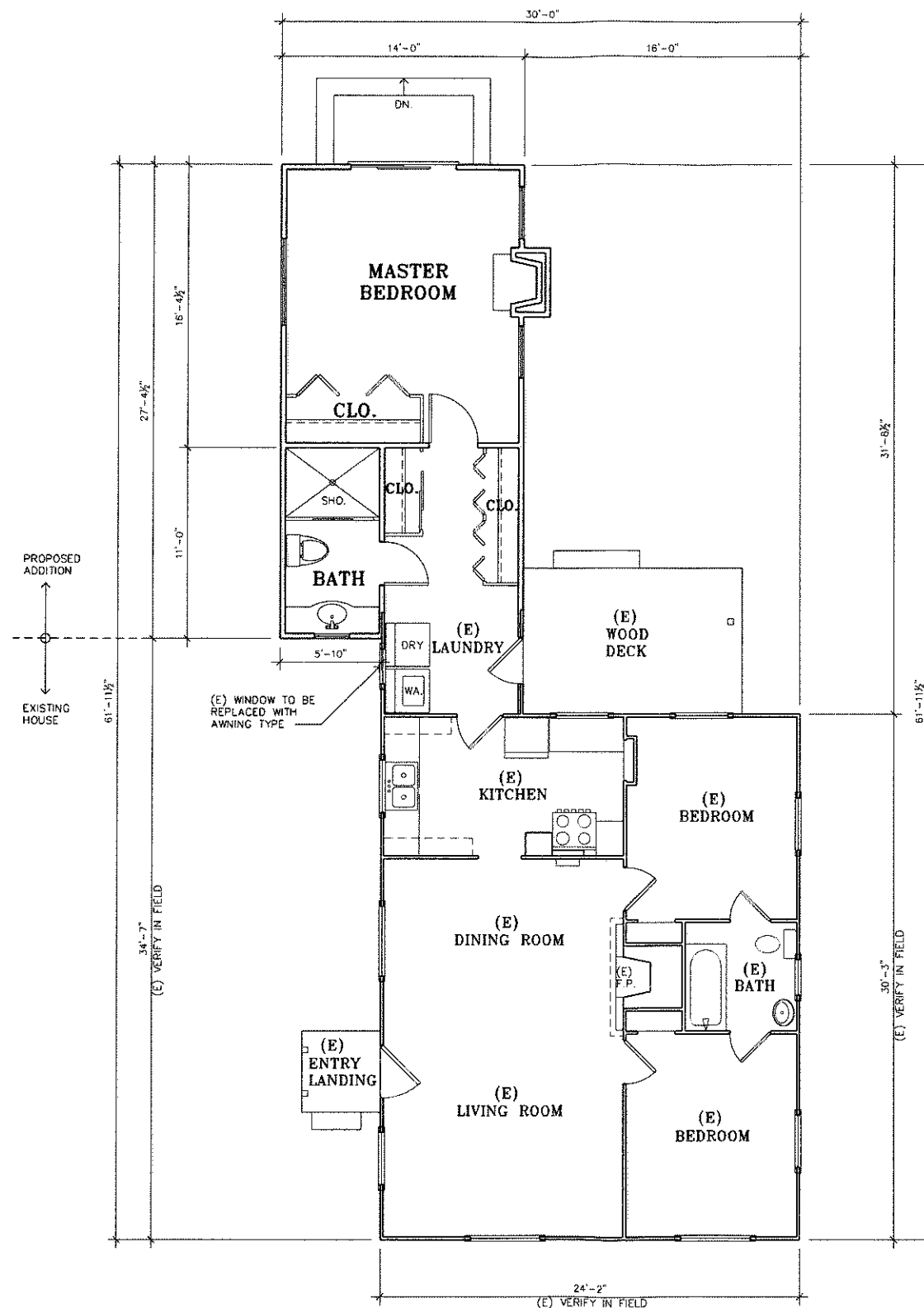
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FLOOR  
PLAN

SHEET NO.

A2.0



FLOOR PLAN

1/4"=1'-0"



WALL LEGEND

- 2X EXISTING WALL TO REMAIN
- 2X6 EXTERIOR STUD FRAMED WALL
- 2X4 INTERIOR STUD FRAMED WALL, U.O.N.



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STAMPS:

PROJECT/CLIENT:

**SHELLIE  
ALBRIGHT  
RESIDENCE**

PROJECT ADDRESS:

**723 GRANITE ST.  
PACIFIC GROVE,  
CA, 93950**

APN: 006-557-011

DATE: MARCH 5, 2014

DESIGN APPROVAL

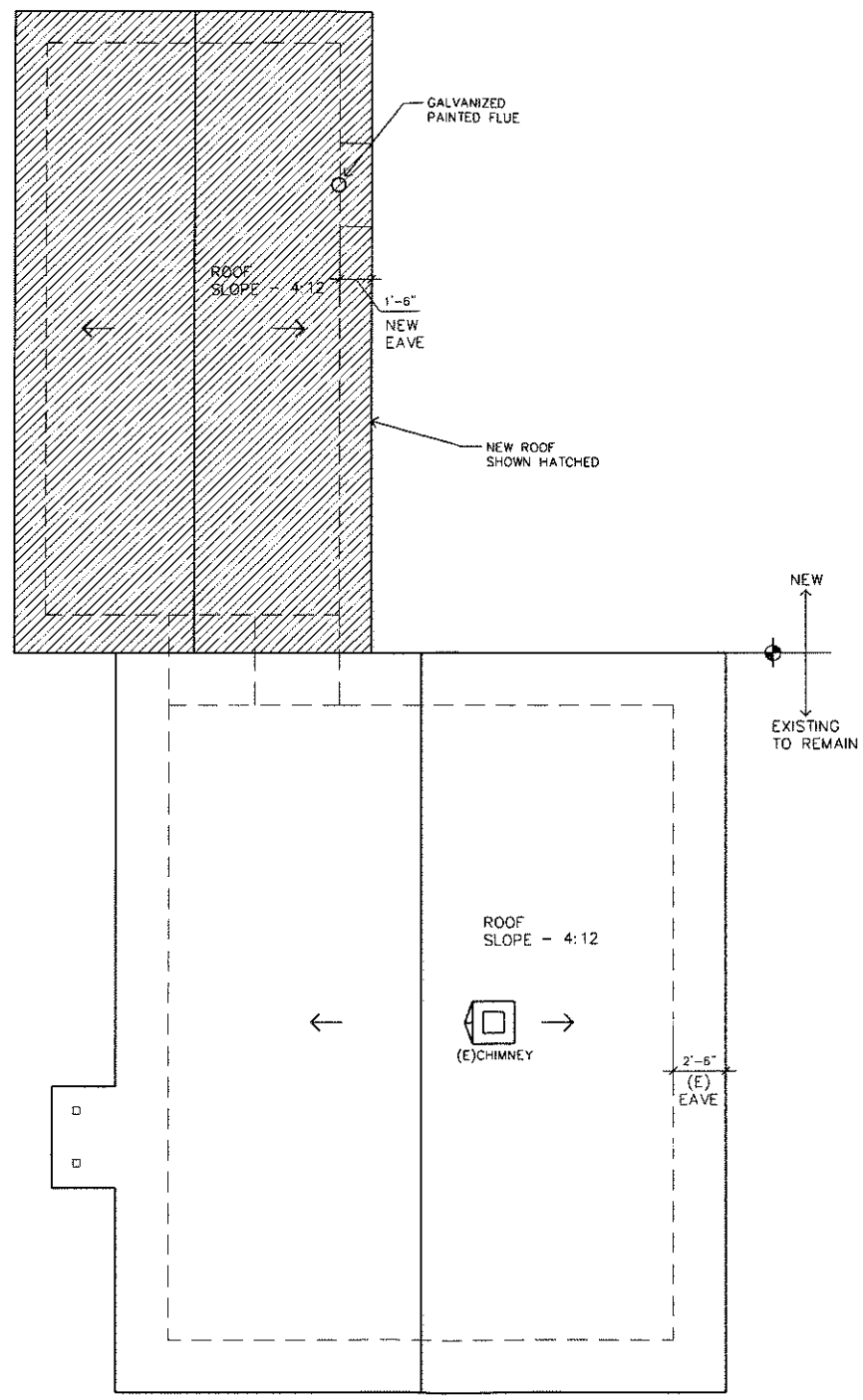
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- △ \_\_\_\_\_
- △ \_\_\_\_\_
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**ROOF  
PLAN**

SHEET NO.

**A5.0**



ROOF PLAN

1/4" = 1'-0"



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STAMPS:

PROJECT/CLIENT:  
**SHELLIE ALBRIGHT RESIDENCE**

PROJECT ADDRESS:  
**723 GRANITE ST.  
PACIFIC GROVE,  
CA, 93950**

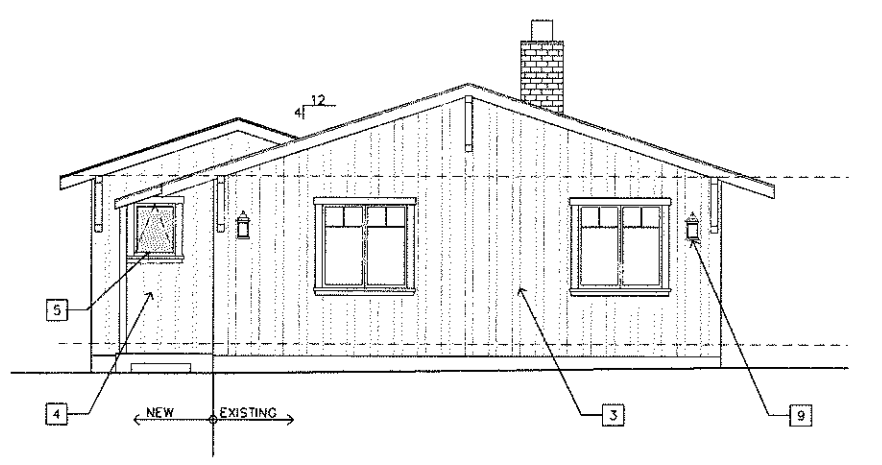
APN: 006-557-011

DATE: MARCH 5, 2014  
DESIGN APPROVAL

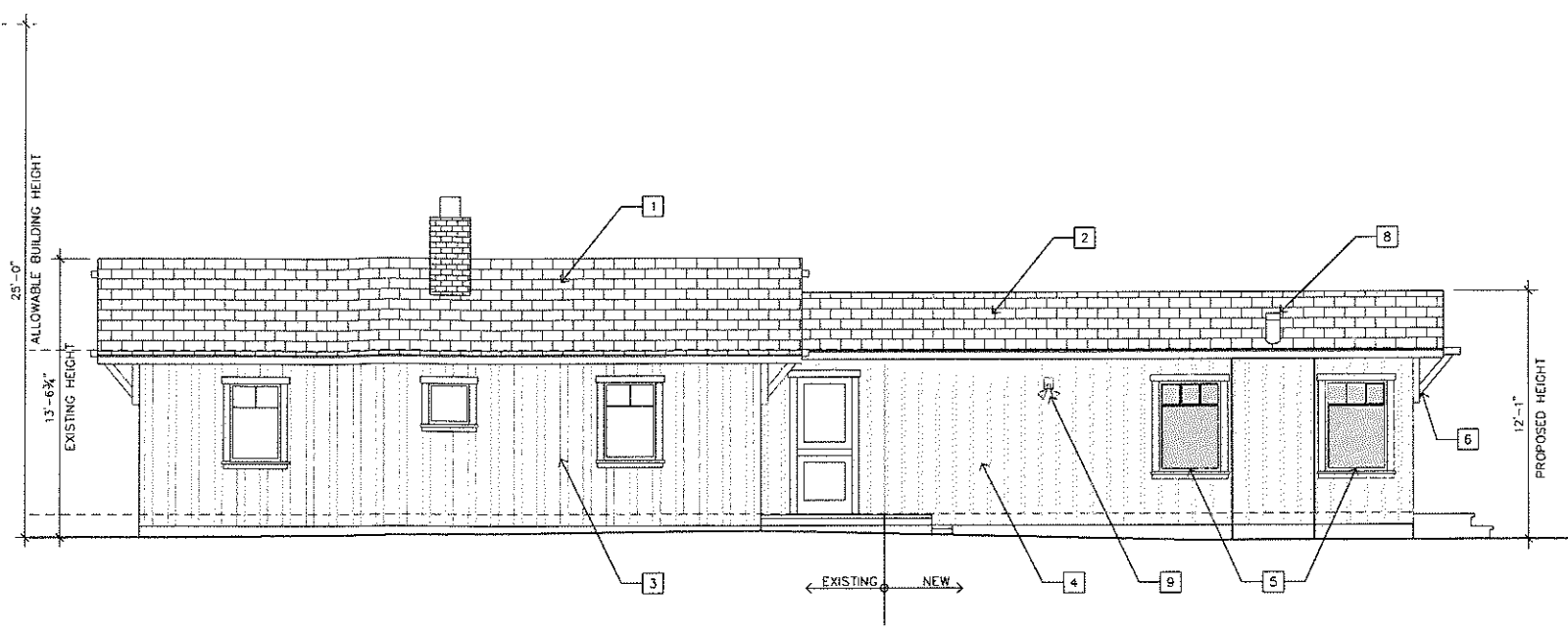
REVISIONS:  
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**ELEVATIONS**

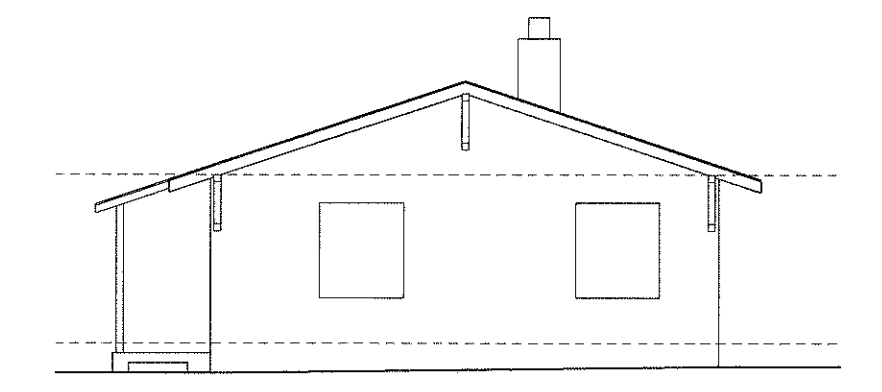
SHEET NO  
**A6.0**



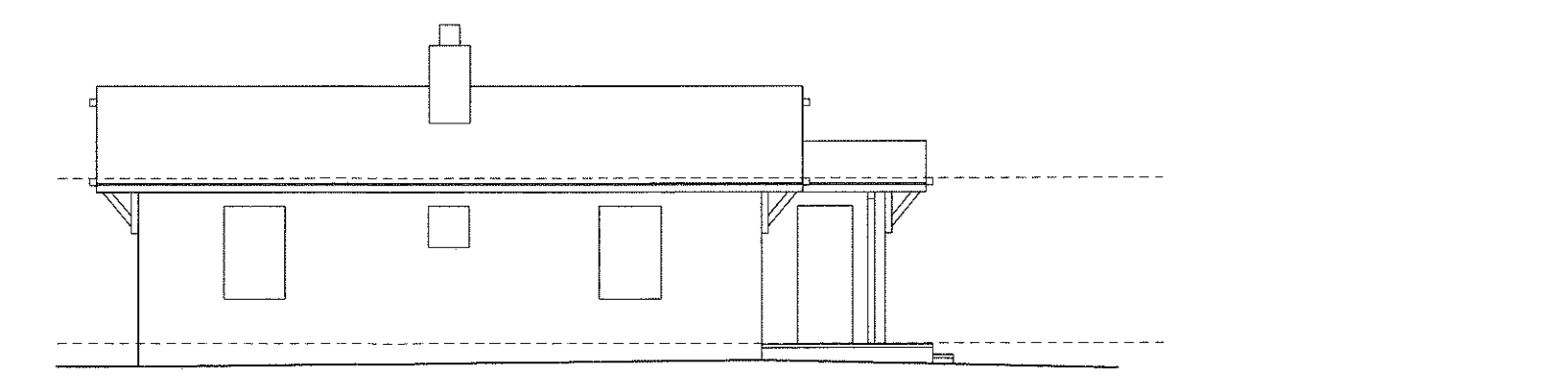
**PROPOSED WEST ELEVATION**  
1/4"=1'-0"



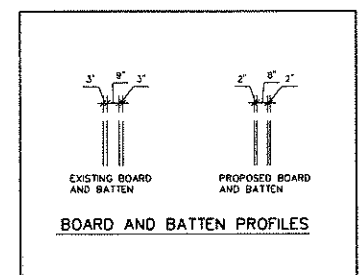
**PROPOSED SOUTH ELEVATION**  
1/4"=1'-0"



**EXISTING WEST ELEVATION**  
1/4"=1'-0"

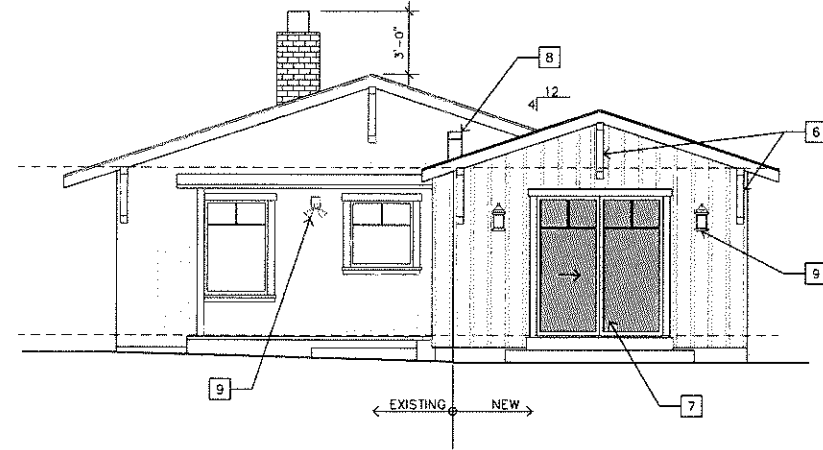


**EXISTING SOUTH ELEVATION**  
1/4"=1'-0"



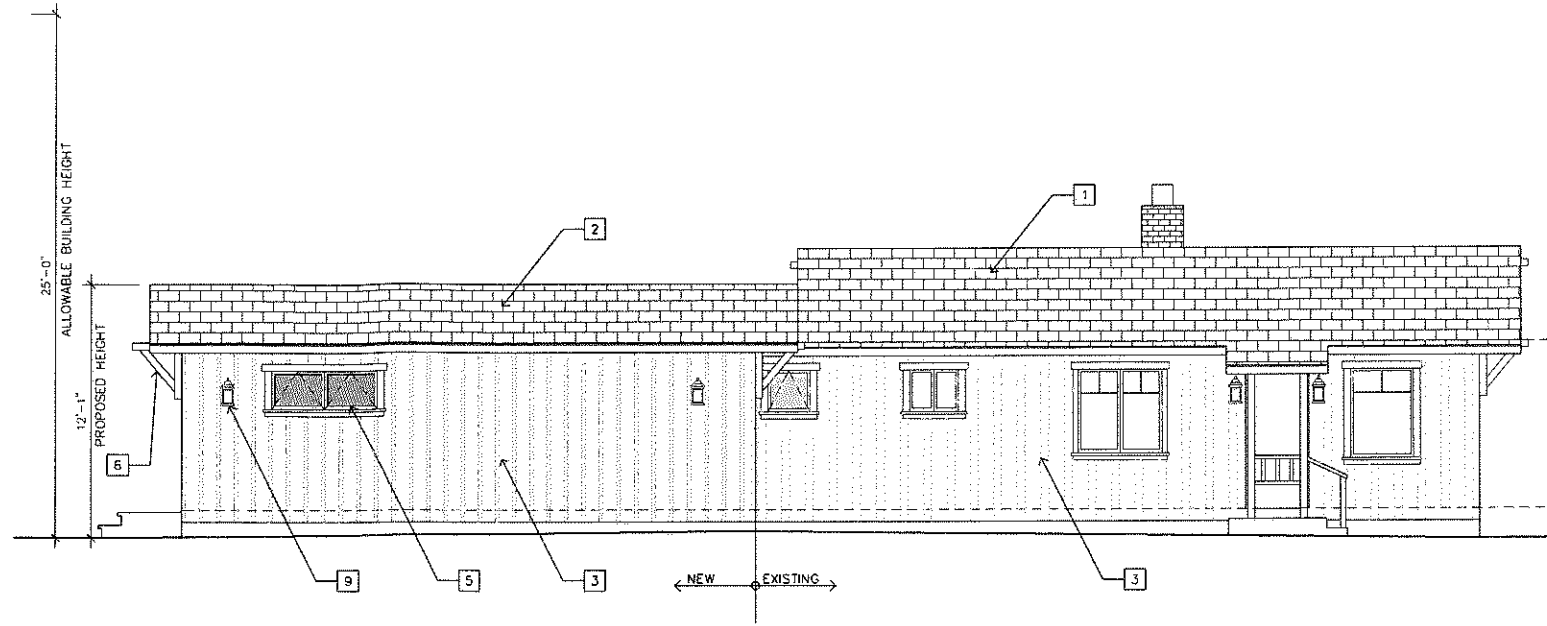
**BOARD AND BATTEN PROFILES**

- EXTERIOR FINISH LEGEND**
- 1 EXISTING ASPHALT SHINGLE ROOF
  - 2 NEW ASPHALT SHINGLE ROOF -MATCH EXISTING
  - 3 PAINTED EXISTING BOARD AND BATTEN
  - 4 NEW PAINTED BOARD AND BATTEN, TYPICAL AT NEW AREAS
  - 5 PAINTED WOOD WINDOWS - MATCH EXISTING
  - 6 PAINTED 2X, 4X, DECORATIVE BRACKET, -MATCH EXISTING
  - 7 NEW SLIDING DOORS
  - 8 GALVANIZED PAINTED FLUE
  - 9 EXTERIOR LIGHT FIXTURE



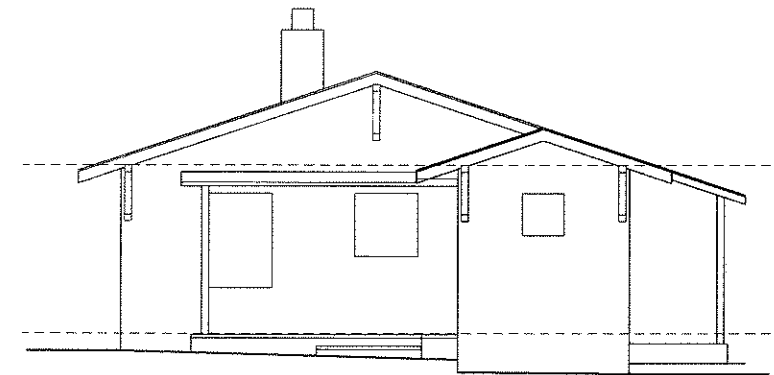
PROPOSED EAST ELEVATION

1/4"=1'-0"



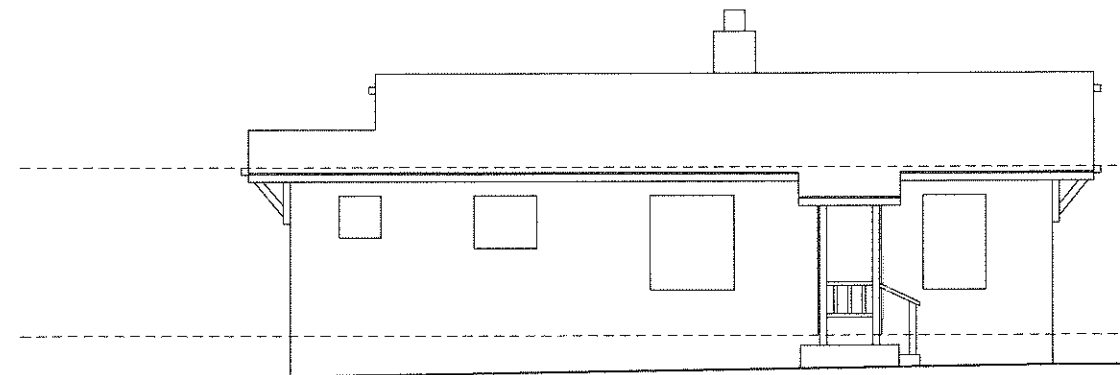
PROPOSED NORTH ELEVATION

1/4"=1'-0"



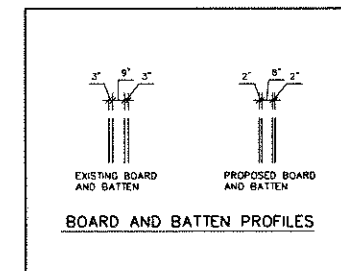
EXISTING EAST ELEVATION

1/4"=1'-0"




EXISTING NORTH ELEVATION

1/4"=1'-0"



EXTERIOR FINISH LEGEND	
1	EXISTING ASPHALT SHINGLE ROOF
2	NEW ASPHALT SHINGLE ROOF -MATCH EXISTING
3	PAINTED EXISTING BOARD AND BATTEN
4	NEW PAINTED BOARD AND BATTEN, TYPICAL AT NEW AREAS
5	PAINTED WOOD WINDOWS - MATCH EXISTING
6	PAINTED 2X, 4X, DECORATIVE BRACKET, -MATCH EXISTING
7	NEW SLIDING DOORS
8	GALVANIZED PAINTED FLUE
9	EXTERIOR LIGHT FIXTURE

7.a  
**JUN A. SILLANO, AIA**  
  
 ARCHITECTURE • PLANNING • INTERIOR DESIGN  
**JOHN E. MATTHAMS**  
 721 LIGHTHOUSE AVE  
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**STAMPS:**

---

PROJECT/CLIENT:  
**SHELLIE ALBRIGHT RESIDENCE**

---

PROJECT ADDRESS:  
 723 GRANITE ST.  
 PACIFIC GROVE,  
 CA, 93950  
 APN: 066-557-011

DATE: MARCH 5, 2014  
 DESIGN APPROVAL

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REVISIONS:

- △ \_\_\_\_\_
- △ \_\_\_\_\_
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**ELEVATIONS**

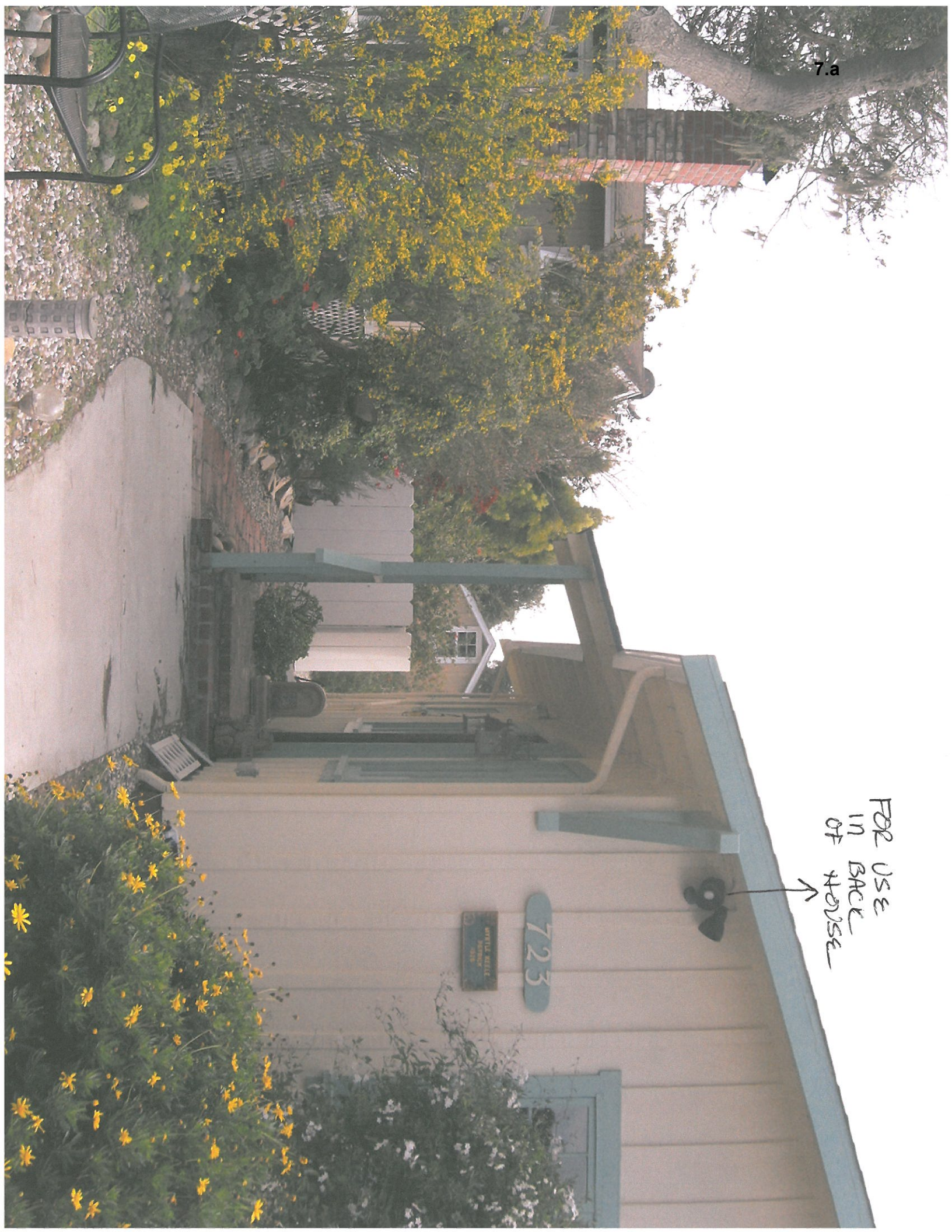
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SHEET NO.  
**A6.1**



7.a

FOR USE  
IN BACK  
OF HOUSE  
↙



723

AVENUE WEST  
MONTROSE  
COLO

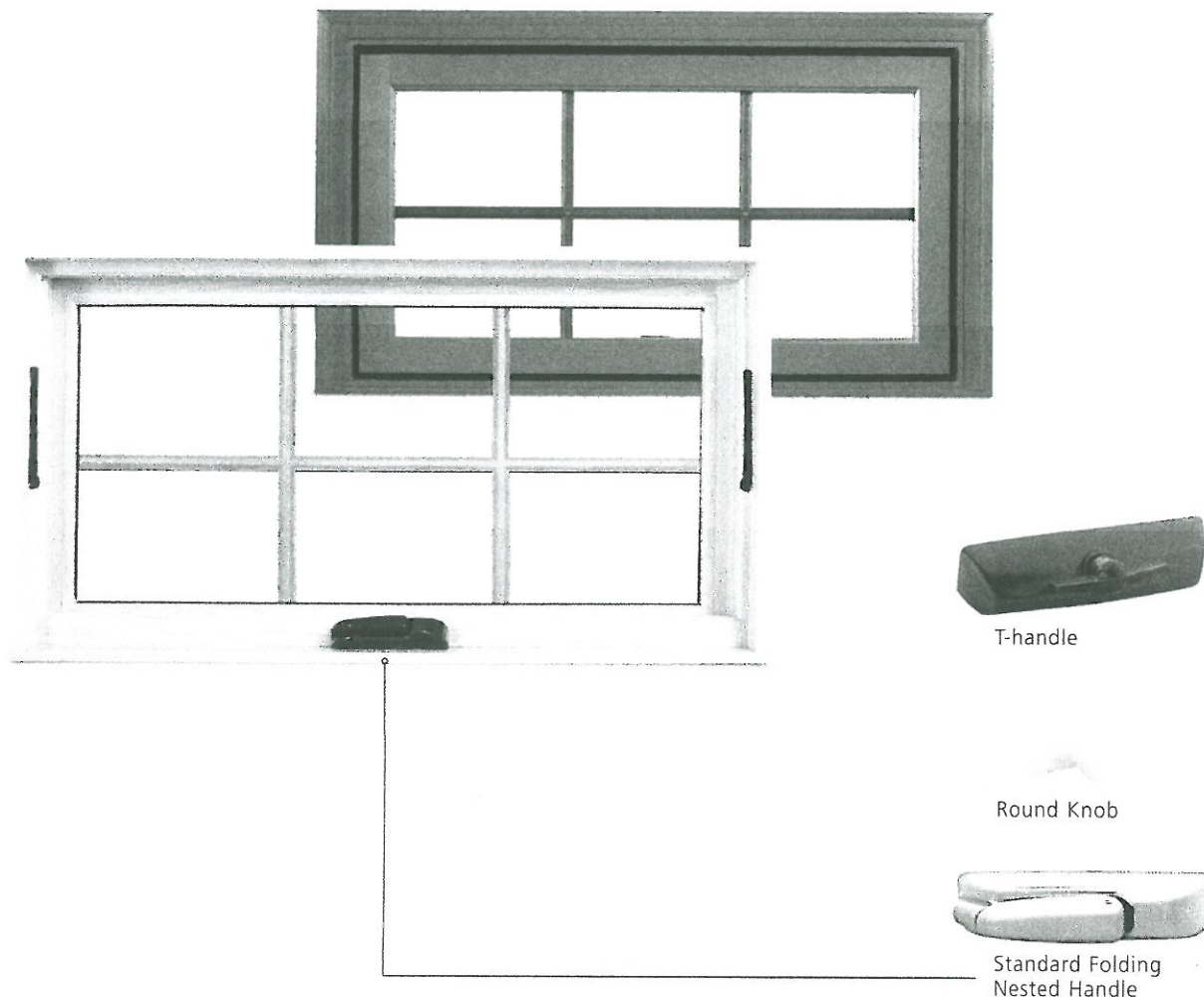


- ① COLORS
- ② LIGHTS





# AWNING WINDOWS

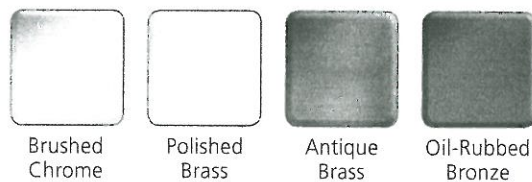


An awning window is appropriate for many architectural styles, and it looks intriguing when grouped with other window types. It is hinged at the top and opens out from the bottom in an outward swing.

### Standard Hardware Finishes



### Optional Hardware Finishes



*Actual colors may vary from the samples displayed.*

# CASEMENT WINDOWS

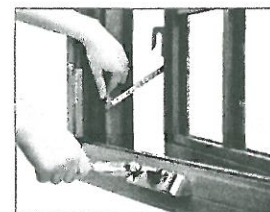


T-handle

Round Knob



Standard Folding Nested Handle



**Window Opening Control Device:** Available with optional window opening control device in matching hardware finish.

A casement window perfectly complements the simplicity of modern design, while also providing maximum ventilation. This type of window is hinged on either side, so the sash opens outward, to the right or left, in a swinging motion.

### Standard Hardware Finishes



White



Desert Sand



Chestnut Bronze

### Optional Hardware Finishes



Brushed Chrome



Polished Brass



Antique Brass



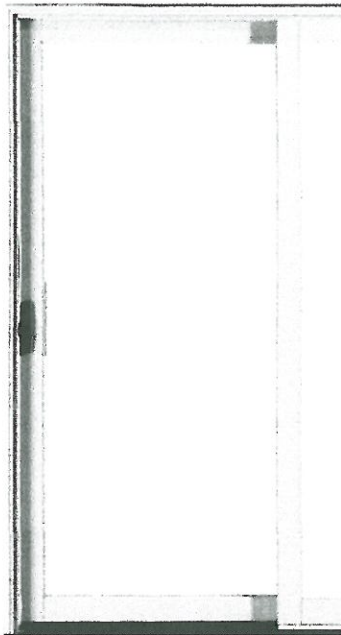
Oil-Rubbed Bronze

*Actual colors may vary from the samples displayed.*

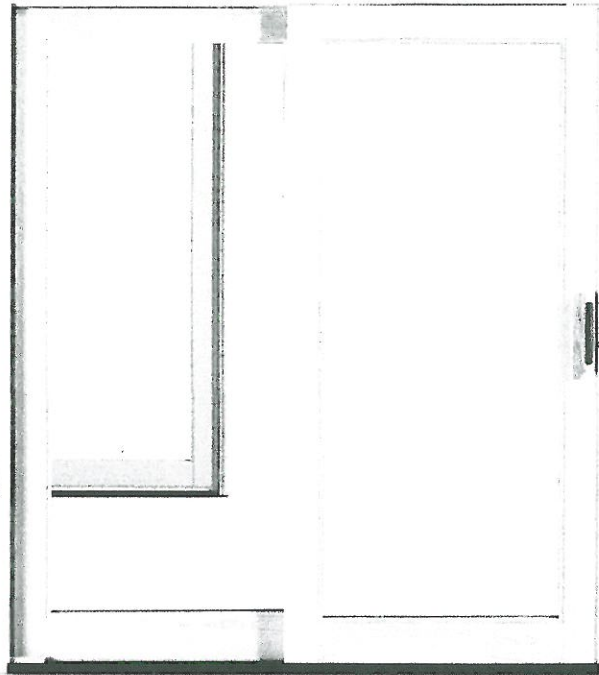


# SLIDING PATIO DOORS—300 & 400 SERIES

SLIDING PATIO DOORS



300 Series  
Narrow Stiles & Rails



400 Series  
Wide Stiles & Rails

Standard Hardware



Single-Point Sliding Patio Door Handle 1

Optional Hardware



Single-Point Sliding Patio Door Handle 2



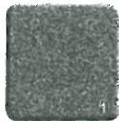
Multi-Point Sliding Patio Door Handle 3

300 & 400 sliding patio doors are designed with wide and narrow stiles and rails, which makes them an appropriate choice for traditional architectural styles. They open by sliding along horizontal tracks at the head and sill.

Finishes For Standard Hardware



White 1

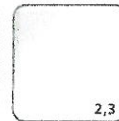


Brown 1

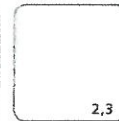
Finishes For Optional Hardware



Brushed Chrome 2,3



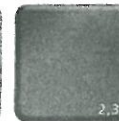
Polished Chrome 2,3



†Polished Brass 2,3



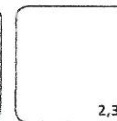
Antique Brass 2,3



Oil-Rubbed Bronze 2,3



†Satin Nickel 2,3



Powder-Coat White 2,3



Powder-Coat Black 2,3

Actual colors may vary from the samples displayed.

†Available with optional PVD finish for increased resistance to wear and discoloration (Available on multi-point handle only)

*JELD WEN*